



City of Kingsburg

PLANNING APPLICATION-LOT LINE ADJUSTMENT

City Hall, 1401 Draper Street, Kingsburg, CA 93631
(559)897-5328 (559)897-6558 Fax

OFFICE USE ONLY

Date Received: _____

File No.: LLA-_____

Fee: \$1,500_____

Applicant _____

e-mail address _____

Applicant's Address _____

City _____ State _____ Zip _____ Day Phone _____

Representative _____

e-mail address _____

Representative's Address _____

City _____ State _____ Zip _____ Day Phone _____

Property Owner (if other than applicant) _____

e-mail address _____

Owner's Address _____

City _____ State _____ Zip _____ Day Phone _____

Please indicate if correspondence is to be sent by Postal service or e-mail to:

Please circle one

Applicant Representative Property Owner

Description and Reason for Request (attach additional sheet if necessary) _____

Project Location _____ Zoning _____

Project A.P.N.: _____

Please check all for which you are applying (Separate forms are required for each item:

- Administrative Approval
- Conditional Use Permit
- Conceptual Presentation
- Environmental Assessment
- General Plan Amendment
- Lot Line Adjustment
- Parcel Map
- Parcel Map Exemption
- Planned Unit Development
- Rezone/Prezone
- Sign Review
- Site Plan Review
- Tract Map
- Variance
- Zone Change

APPLICANT/REPRESENTATIVE: I have reviewed this completed application and the attached material. The information provided is accurate. I understand the city might not approve this request, or might set conditions of approval.

Signed _____ Date _____

PROPERTY OWNER/AUTHORIZED AGENT: I have read this completed application and consent to its filing.
(Notarized letter from owner/agent may be required)

Signed _____ Date _____

OFFICE USE ONLY

ROUTE TO:

- Planning Director
- City Engineer
- Public Works
- Police Department
- Building Official
- SKF
- Fire Department

RETURN TO:

Planning Department Secretary
Phone (559)897-5328
Fax (559)897-6558

Distribution Date _____ Received by _____

Comments Attached Yes No



CITY OF KINGSBURG
PLANNING DEPARTMENT
1401 DRAPER STREET

LOT LINE ADJUSTMENT

The conveyance of a portion of one's ownership to an adjacent property owner who represents an adjustment of boundaries.

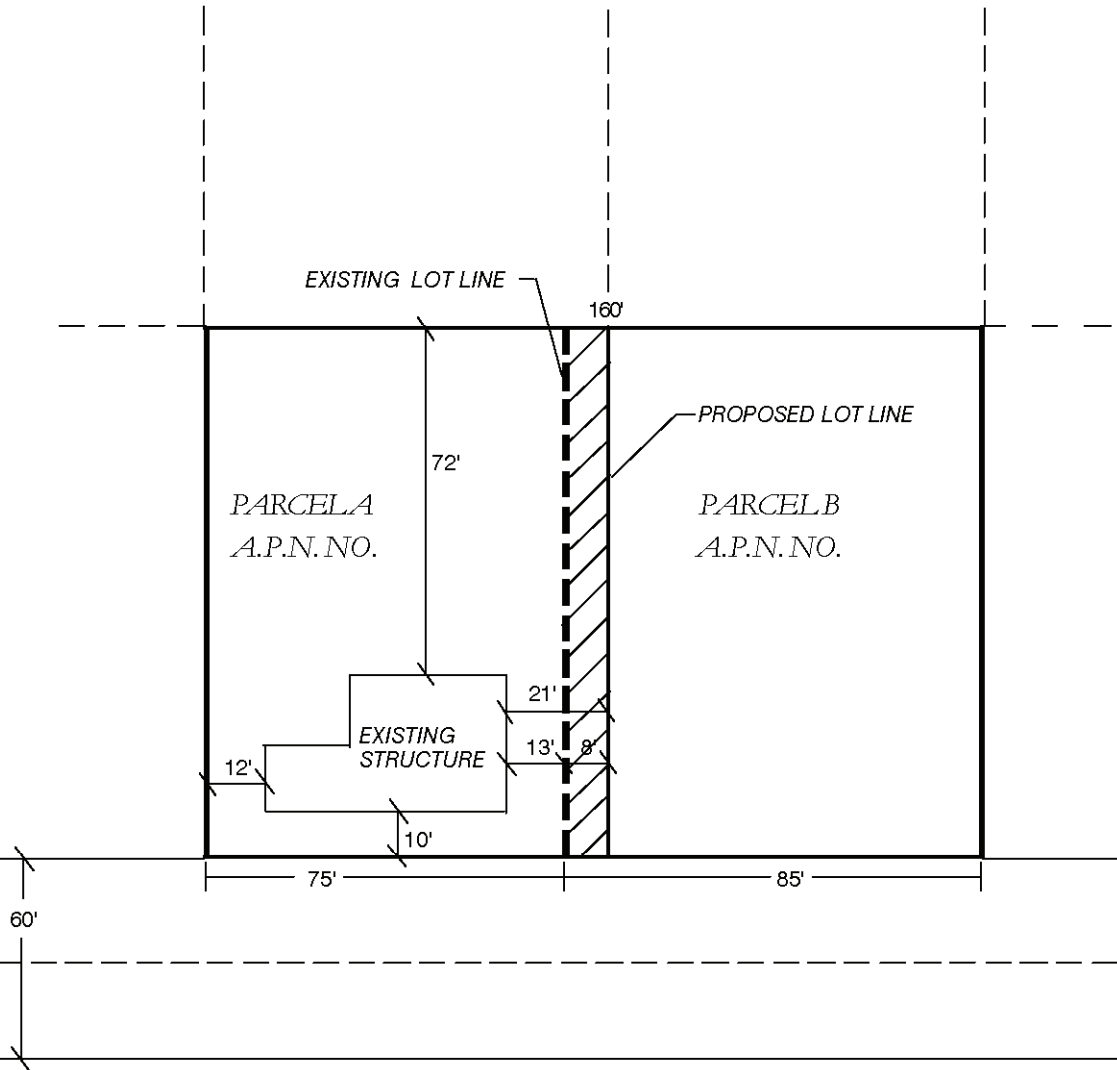
The following information must be contained in this application and filled out completely. No public hearing is required for this application but must be approved by Planning and Engineering staff. If all required information is not provided as part of the application, it will not be accepted and returned as incomplete.

Please include (2) copies of a neatly drawn, detailed map, showing the proposed transaction (acceptable drawing size: 8 ½" x 11, 11" x 17" or 18" x 26"). At least one copy of said map must be 8 ½" x 11" or 11" x 17". This map must include the following information:

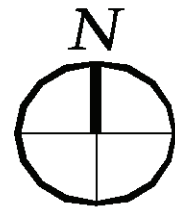
1. The boundary lines and dimensions of the original parcels.
2. The existing and proposed legal description of the parcels.
3. The proposed division lines, dimensions and area of each parcel created, and the proposed change of boundary line.
4. The identification of each parcel with number or letter (ex. "Parcel A" or "Parcel 1")
5. All existing buildings, structures, wells, septic tanks and leaching fields within 100 feet of all existing or proposed boundary lines with their major exterior dimensions and distances from boundary lines.
6. The location and widths of any abutting public road right-of-way or private road easements.
7. The locations of any electric, telephone, cable television or gas facilities.
8. The north point and scale.
9. A designation of which parcel each property owner will receive.
10. A copy of a recorded deed showing ownership of parcels to be altered.
11. Showing existing Zoning of the subject parcel.
12. Supply preliminary title report of subject parcel(s), updated within 90 days.
13. A PDF file of the submittal application is required.

An example of the information required is included in this application packet.

EXAMPLE PLAT



LOT SQUARE FOOTAGE	PARCEL A	PARCEL B
EXISTING		
PROPOSED		



PROPERTY TO BE TRANSFERRED

LOTLINE ADJUSTMENT PLAT, EXHIBIT "A"

TITLE OF PLAT _____
 ENGINEERING COMPANY _____
 ADDRESS _____
 PHONE NUMBER _____
 ENGINEER'S LICENSE NO. SEAL _____

DATE _____
 SCALE _____
 PAGE ___ OF ___

CITY OF KINGSBURG
PLANNING AND DEVELOPMENT DEPARTMENT
1401 Draper Street Kingsburg, CA 93631
PHONE 559-897-5328 FAX 559-897-6558

RECORDING REQUESTED BY and
AFTER RECORDING, RETURN TO:

City of Kingsburg
Community Development Department
1401 Draper Street
Kingsburg, CA 93631

<h2 style="text-align: center;">NOTICE OF LOT LINE ADJUSTMENT</h2>
--

Pursuant to Section 66412.d of the Government Code (Subdivision Map Act) of the State of California, the City of Kingsburg Planning and Development Department hereby certifies that a lot line adjustment was approved on _____ for the properties described in Exhibit "A" which is attached and incorporated herein and effected by:

LOT LINE ADJUSTMENT APPLICATION NUMBER:

PARCEL(S):

PROPERTY OWNER(S) _____

This Notice of Lot Line Adjustment is for notification purposes only and does not affect or accomplish the adjustment of the property line(s) described in Exhibit "A". The Planning Department does not guarantee that the properties described in Exhibit "A" match the above referenced Lot Line Adjustment of Record of Survey. Executed by the City of Kingsburg on _____

Community Development Department
City of Kingsburg